

Choice Home Inspection Services, Inc.

Property Inspection Report



555 Main Street, Atlanta, GA
Inspection prepared for: Mr. and Mrs. Client
Date of Inspection: 4/11/2017 Time: 2:00 PM
Age of Home: 2001 Size: 1952
Order ID: 1470

Inspector: Clark Cummings
ASHI #212073 InterNachi Certified Master Inspector

Email: clark@chisvc.com
www.chisvc.com

This report is the exclusive property of the inspection company and the client whose name appears herewith and its use by any unauthorized persons is prohibited.



Report Summary

IMPORTANT: The following items are a brief summary of the significant deficiencies or critical concerns which are important to highlight as they relate to function or safety. Some of these items may warrant further investigation by a specialist. The entire Inspection Report, including the ASHI Standards of Practice <http://www.ashi.org/inspectors/standards/standards.asp>, limitations and scope of Inspection, and Pre-Inspection Agreement must be carefully read to fully assess the findings of the inspection. The photos sent with this report may NOT reflect all defects and/or locations of needed repairs noted within the body of the report. This is only a summary and is provided as a courtesy, it should not be considered to be the complete report. The complete list of issues, concerns, deficiencies and important details pertaining to this property is found throughout the body of the inspection report. Your entire report must be carefully read to fully assess all of the findings and benefit from the recommendations, maintenance advice, tips and other important resource information.

Site		
Page 6 Item: 1	Driveway	1.1. The soil below the driveway has settled and/or heaved. Persistent movement may result in the need for replacement or resurfacing in the future. The cracks in the driveway need to be sealed to prevent further damage. The freeze thaw cycle may cause differential settlement and enlarge existing cracks.
Page 6 Item: 4	Condition of Deck/Porch/Balcony	4.2. The porch is connected to the cantilevered rim joist at the house. This is not allowed by building industry standards and the cantilever is not designed to carry the extra load. This is a potential structural support issue that should be corrected. Recommend a licensed building contractor add framing around the chimney or bay window or add post and beam per the normally accepted building practices. 4.3. The flashing between the porch and the house is not visible. Recommend a licensed contractor verify the presence of the flashing or install as needed per the generally accepted building practices and repair any resulting moisture damage to the exterior wall.
Page 7 Item: 5	Stairs	5.1. For improved safety, it is recommended that a graspable handrail be provided for the exterior stairway. The handrail is not the proper configuration or dimension; recommend a qualified contractor install per the generally accepted building practices and make any other repairs needed at that time. 5.2. Open risers between steps greater than 4" which should be covered if small children are present for reasons of safety. Recommend a qualified trades person repair as needed and make any other repairs needed at that time.
Page 8 Item: 6	Fence and Gate Condition	6.1. The fence is configured in a way that the fence can be climbed and entered from the outside of the fence. Recommend a qualified contractor for further review and make adjustments necessary per the generally accepted building practices.
Exterior		
Page 11 Item: 2	Siding Condition	2.1. The loose siding on the house should be secured by a qualified trades person to avoid wind damage and make any other repairs needed at that time.

Page 11 Item: 3	Trim Condition	<p>3.1. Localized wood deterioration on the house was observed in the trim around the front porch columns. We are unable to determine the condition of the underlying material. Recommend a qualified contractor check all of the trim and replace as needed, and caulk and paint to match the existing trim and make any other repairs needed at that time.</p> <p>3.2. Localized wood deterioration on the house was observed in the threshold and trim around the door(s). We are unable to determine the condition of the underlying material. Recommend a qualified contractor to check all the trim and replace as needed, and caulk and paint to match the existing trim and make any other repairs needed at that time.</p>
Garage		
Page 16 Item: 1	Garage Door Condition	1.1. The overhead door opener on the right is not working as intended using the wall mounted door controller. Recommend a professional overhead door company repair and/or replace as needed for proper operation and make any repairs needed at that time.
Page 16 Item: 3	Stairs Condition	3.1. There is no guardrail. Any staircase and walking surface over 30" high should have a guardrail for safety reasons. Recommend a licensed contractor install per the generally accepted building practices.
Heating and A/C		
Page 17 Item: 3	Heat Pump Temperature Differential	3.1. The temperature drop measured between the supply and return registers of the heat pump system serving the second floor is lower than typical. Decreased heat output by a heat pump system is usually attributable to low coolant pressure or the failure of a mechanical component. Recommend a qualified heating and cooling technician for further evaluation/repair and to check for other repairs that may be needed at that time.
Electrical		
Page 19 Item: 3	Distribution Wiring Observation	3.1. All junction boxes in the attic should be fitted with cover plates, in order to protect the wire connections. Recommend a qualified contractor add as needed and make any other repairs needed at that time.
Plumbing		
Page 21 Item: 3	Faucet and Supply Lines	3.1. The faucet in the second floor bathroom vanity leaks, or it is deteriorated to the degree that replacement is needed. Services of a qualified licensed plumber is recommended.
Page 23 Item: 6	Shower Pan	6.1. The master bathroom bath tub/shower enclosure needs caulk or grout repair to help prevent water penetration to the underlying materials. We are unable to determine condition of underlying materials. Recommend a qualified contractor repair as needed and ensure that the shower pan does not leak.
Page 24 Item: 8	TPR Valve and Pipe Observations	8.1. The relief valve at the discharge piping serving the Temperature and Pressure Relief (TPR) Valve for the water heater should be installed at the lowest point in the piping. The relief valves serves to empty the discharge pipe in the event the TPR is opened, and prevents the TPR from rusting and malfunctioning. Recommend a licensed plumbing contractor install per the generally accepted building practice.

Interior		
Page 25 Item: 1	Floor Condition	<p>1.1. The vinyl flooring is damaged in the kitchen. Recommend a qualified contractor repair or replace as needed.</p> <p>1.2. Loose or wrinkled carpeting was noted in the second floor hallway. Recommend a qualified contractor that specializes in carpet repair to repair as needed to avoid a trip hazard.</p>
Page 26 Item: 5	Stair and Railing Condition	<p>5.1. The handrail is not continuous over the full length of the flight of stairs from top riser to bottom riser. For safety reasons, you should consider that the handrail be altered or replaced with one of the proper configuration by a qualified contractor.</p>
Appliances		
Page 27 Item: 7	Range/Oven Condition	<p>7.2. The gas or electric range has not been secured as required by manufacturer's installation instructions. A tip over safety hazard exists for small children. The gas or electric range should be properly secured with an anti tilt clip per the manufactures instructions.</p>

General Details

This report is the exclusive property of Choice Home Inspection Services and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited.

The observations and opinions expressed within this report are those of Choice Home Inspection Services and supersede any alleged verbal comments.

We inspect all of the systems, components, and conditions described in accordance with the Standards of Practice of the American Society of Home Inspectors (ASHI) <http://www.homeinspector.org/Standards-of-Practice>, and those that we do not inspect are clearly disclaimed in the contract and/or in the aforementioned standards.

In accordance with the terms of the contract, the investigation and service recommendations that we make in this report should be completed DURING YOUR INSPECTION CONTINGENCY PERIOD by qualified, licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

The pictures in the report does not necessarily mean that the issue was limited to that area only, but may be a representation of a condition that is in multiple places. Not all areas of deficiencies or conditions will be supported with photos. To view videos in the report the PDF needs to be downloaded and viewed with a full PDF reader such as Adobe.

By relying on this inspection report you have agreed to be bound by the terms, conditions and limitations as set forth in the CONTRACT AGREEMENT, which was presented to you at the time of the inspection or in an electronic mail attachment prior to the inspection. If you do not have a copy of the CONTRACT AGREEMENT please contact Choice Home Inspection Services and a copy will be provided to you electronically. If you do not agree to be bound by this CONTRACT AGREEMENT in its entirety, you must contact Choice Home Inspection Services immediately upon receipt of this completed report. In addition, all electronic and paper copies of the inspection report must be deleted and destroyed, and may not be used in whole or in part for consideration in a real estate transaction.

1. Building Occupancy

Occupied - Access to some areas such as: electrical outlets, windows, wall and floor surfaces, and cabinet interiors were restricted by furniture and personal belongings. Any such items are excluded from this inspection report.

This is a spacious well built structure. As with all structures, on going maintenance is required and improvements to the systems of the structure will be needed over time. The improvements that are recommended in the report are not considered unusual for a structure of this age and location.

Please remember that there is no such thing as a perfect structure.

People Present: Client's representative accompanied the inspector approximately 25 to 49 percent of the inspection.

The homeowner/tenant was present during the inspection.

2. Residence Type

The residence is a single family home.

3. Weather Condition

Current Weather: Partly cloudy, Recent Weather: Relatively Dry, Soil Conditions: Dry
Outside Estimated Temperature: 80-90 degrees

4. Utilities Status

All utilities on

Site

The inspector shall inspect adjacent or entryway walkways, patios, and driveways; vegetation, grading, surface drainage, and retaining walls that are likely to adversely affect the building. Vegetation, including trees, are examined only to the extent that it is affecting the structure.

1. Driveway

1.1. The soil below the driveway has settled and/or heaved. Persistent movement may result in the need for replacement or resurfacing in the future. The cracks in the driveway need to be sealed to prevent further damage. The freeze thaw cycle may cause differential settlement and enlarge existing cracks.



settling noted in the driveway

2. Walkway and Stoop

2.1. Cracking is a common occurrence at concrete surfaces. Cracking that is not sealed will allow further deterioration as water expands and contracts from freeze and thaw cycles. Sealing the cracks to prolong the life of the concrete would be advised.

3. Patios

3.1. Cracking is a common occurrence in concrete surfaces. Cracking that is not sealed will allow further deterioration as water expands and contracts from freeze and thaw cycles. Sealing the cracks to prolong the life of the concrete would be advised.

4. Condition of Deck/Porch/Balcony

4.1. The underside of the back porch was not inspected due to lack of access due to clearance or installed materials. We were unable to make any observations or determinations of conditions of the deck support structure.

4.2. The porch is connected to the cantilevered rim joist at the house. This is not allowed by building industry standards and the cantilever is not designed to carry the extra load. This is a potential structural support issue that should be corrected. Recommend a licensed building contractor add framing around the chimney or bay window or add post and beam per the normally accepted building practices.

4.3. The flashing between the porch and the house is not visible. Recommend a licensed contractor verify the presence of the flashing or install as needed per the generally accepted building practices and repair any resulting moisture damage to the exterior wall.



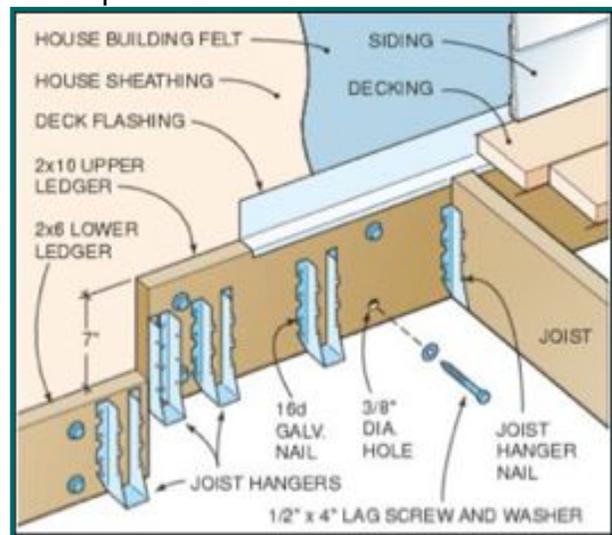
flashing is not visible at porch



porch connection to cantilever



example of support at deck connection to cantilever



example of flashing

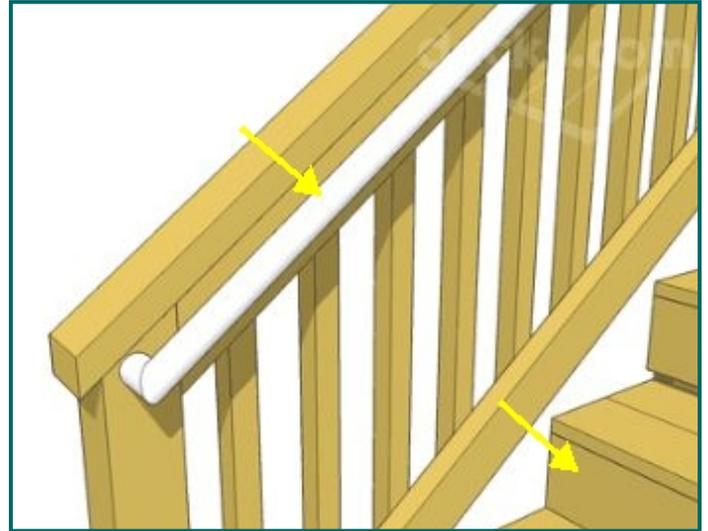
5. Stairs

5.1. For improved safety, it is recommended that a graspable handrail be provided for the exterior stairway. The handrail is not the proper configuration or dimension; recommend a qualified contractor install per the generally accepted building practices and make any other repairs needed at that time.

5.2. Open risers between steps greater than 4" which should be covered if small children are present for reasons of safety. Recommend a qualified trades person repair as needed and make any other repairs needed at that time.



handrail is not graspable and open risers



example of a graspable handrail and closed risers

6. Fence and Gate Condition

6.1. The fence is configured in a way that the fence can be climbed and entered from the outside of the fence. Recommend a qualified contractor for further review and make adjustments necessary per the generally accepted building practices.

Foundation

This report describes the foundation, floor, wall, ceiling and roof structures and the method used to inspect any accessible under floor crawlspace areas. Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist. Inspectors are not required to offer an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guaranty that the foundation, and the overall structure and structural elements of the building is sound.

1. Visible Portions of the Exterior Foundation

Raised Foundation with a crawlspace - Refers to a concrete foundation wall with a footer below without a finished floor.

1.1. Minor 1/32nd and 3/8th inch settlement cracks were observed in the foundation wall(s), the crack(s) may need sealing to prevent moisture penetration. This implies that some structural movement of the building has occurred. Cracks of this type should be watched for any sign of additional movement. In the absence of any sign of ongoing movement, repair should not be necessary.



minor foundation crack on right

minor foundation crack at front

2. Crawlspace Inspected By

The picture(s) demonstrate that the inspector crawled accessible areas where it could be done safely. There are some typical restrictions to the inspection including but not limited to the electrical wires, areas of moisture, pipes, storage, ductwork, insulation, access, debris etc. We are unable to report defects concealed by these items.



3. Crawlspace Conditions

3.1. All wood debris and/or trash should be removed from the crawl space. Organic debris around a property increases risk of insect or rot damage and make any other repairs needed at that time.



wood debris and/or trash

4. Evidence of Water Entry in the Crawlspace Noted

4.1. No there was no moisture present in the crawlspace at the time of the inspection.

5. Crawlspace Ventilation

5.1. Vents to the crawlspace are sealed. This prevents the normal air movement. It is recommended that the vents are opened to allow for normal function.

Exterior

Our inspection of the exterior of the structure included a visual examination. Items are examined for defects, excessive wear, and general state of repair. Exterior wood components are randomly probed. We do not probe everywhere. Varying degrees of exterior deterioration could exist in any component.

1. Exterior Siding Materials

The house was clad with vinyl siding. The exterior cladding should be maintained regularly as required to extend the service life.

Sealant maintenance is an important method of preventing water penetration of the exterior cladding into the structure. All penetrations should be properly sealed. We do not note all penetrations. Pictures of penetrations in the report are used as an example, but may not note all locations.

2. Siding Condition

2.1. The loose siding on the house should be secured by a qualified trades person to avoid wind damage and make any other repairs needed at that time.



loose siding on left

3. Trim Condition

3.1. Localized wood deterioration on the house was observed in the trim around the front porch columns. We are unable to determine the condition of the underlying material. Recommend a qualified contractor check all of the trim and replace as needed, and caulk and paint to match the existing trim and make any other repairs needed at that time.

3.2. Localized wood deterioration on the house was observed in the threshold and trim around the door(s). We are unable to determine the condition of the underlying material. Recommend a qualified contractor to check all the trim and replace as needed, and caulk and paint to match the existing trim and make any other repairs needed at that time.



deteriorated trim around the front porch columns



deteriorated threshold and trim around the crawlspace door

4. Exterior Window Screen Condition

4.1. Observed the window screen(s) are damaged on the house. Recommend a qualified contractor replace screens where damaged.



damaged screen on right



damaged screens on front

Structure

This report describes the floor, wall, ceiling and roof structures and the method used to inspect any accessible areas of the structure. Inspectors inspect and probe the structural components of the home, including the foundation and framing, where deterioration is suspected or where clear indications of possible deterioration exist. Probing is not done when doing so will damage finished surfaces or when no deterioration is visible or presumed to exist. Inspectors are not required to offer an opinion as to the structural adequacy of any structural systems or components or provide architectural services or an engineering or structural analysis of any kind. Despite all efforts, it is impossible for a home inspection to provide any guaranty that the foundation, and the overall structure and structural elements of the building is sound.

1. Exposed Wall Framing Condition

Frame

The framing is 2" x 4" wood members.

2. Exposed Floor/Ceiling Condition

The floor framing is constructed with 2" x 8" members.

2.1. Satisfactory - The exposed portions of the floor framing and ceiling joist members are in satisfactory condition.

3. Exposed Roof Frame Condition

A rafter system is installed in the attic cavity to support the roof decking and transmit the roof load to the exterior walls.

3.1. Satisfactory - The roof framing appears to be in functional condition.

4. Roof Decking Condition

The roof decking material is oriented strand board sheeting.

4.1. There is no evidence of current water leaks into the accessible attic spaces.

Roof and Chimney

As with all areas of the house, we recommend that you carefully examine the roof immediately prior to closing the deal. Note that walking on a roof voids some manufacturer's warranties. Adequate attic ventilation, solar / wind exposure, and organic debris all affect the life expectancy of a roof. Always ask the seller about the age and history of the roof. On any roof that is over 3 years old, experts recommend that you obtain a roof certification from an established local roofing company to determine its serviceability and the number of layers on the roof. We certainly recommend this for any roof over 5 years of age. Metal roofs in snow areas often do not have gutters and downspouts, as there is a concern that snow or ice cascading off the roof may tear gutters from the house. Likewise, be advised that such cascading may cause personal injury or even death. If this house has a metal roof, consult with qualified roofers or contractors regarding the advisability of installing a damming feature which may limit the size and amount of snow/ice sliding from the roof.

1. Method and Material

The roof covering was dimensional architectural shingle that appeared to be in the first third of their life cycle.

Binoculars were used to view the roof covering.

The condition of the roof covering material is such that walking on it could be hazardous to either the inspector or damage the roofing material.

2. Condition of Roof Covering Material

2.1. Satisfactory - The roof covering material is in a condition that is consistent with its age and method of installation, showing no deficiency or cause for immediate concern.

3. Roof Gutter System

3.1. Installation of downspout extensions would help carry the water further away from the foundation to avoid erosion of the landscaping.

Insulation and Ventilation

Insulation/ventilation type and levels in concealed areas are not inspected. Insulation and vapor barriers are not disturbed and no destructive tests (such as cutting openings in walls to look for insulation) are performed. Any estimates of insulation R values or depths are rough average values.

1. Method of Inspection

The picture(s) demonstrate that every effort was made to visually inspect all accessible areas or show limitations of access. We do not attempt to enter attics that have less than thirty six inches of headroom, or are restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous. We do not disturb or move insulation that may obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.

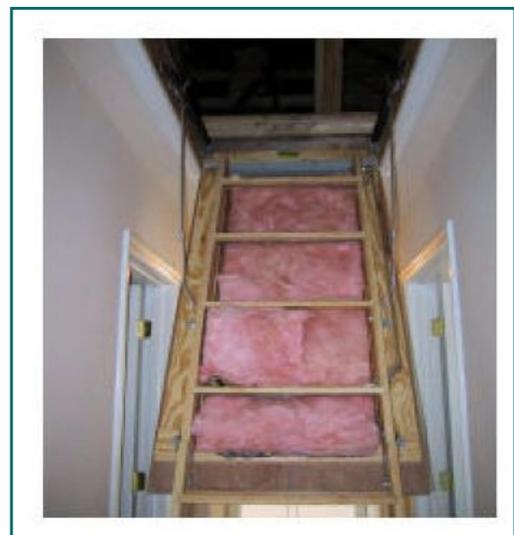


2. Attic Access Condition

2.1. In the interest of improved energy savings, the attic access door or panel should be insulated. Please see the following website for more information
http://www.habitat.org/ic/env/pdf/Attic_Access.pdf



insulating attic access is beneficial



example of an insulated attic access

3. Insulation Noted

3.1. The following type of insulation was noted in the attic: Fiberglass

3.2. There is an average of at least 8 to 10 inches of insulation or more installed in the attic.

Garage

1. Garage Door Condition

The garage vehicle door(s) are installed with a garage door opener.

1.1. The overhead door opener on the right is not working as intended using the wall mounted door controller. Recommend a professional overhead door company repair and/or replace as needed for proper operation and make any repairs needed at that time.

2. Safety Reverse Switch on the Automatic Opener

2.1. Yes - The door opener is equipped with an automatic reverse safety switch.

3. Stairs Condition

3.1. There is no guardrail. Any staircase and walking surface over 30" high should have a guardrail for safety reasons. Recommend a licensed contractor install per the generally accepted building practices.



missing guardrail in garage



missing guardrail in garage attic

Heating and A/C

The scope of this inspection does not include the effectiveness or adequacy of the heating and air conditioning systems. The inspector will usually test the heating and air conditioner using the thermostat or other controls. For a more thorough investigation of the system a licensed HVAC service technician should be engaged.

1. Cooling System Observation

The Goodman A/C condenser unit is approximately 6 years old. The manufacturers data plate states that the maximum size of the overcurrent protection for the unit should not exceed 30 amps. The condensing unit is a Heat Pump/Split System powered by electricity. The Ruud A/C condenser unit is approximately 1 year old. The manufacturers data plate states that the maximum size of the overcurrent protection for the unit should not exceed 20 amps. The condensing unit is a Heat Pump/Split System powered by electricity. The typical service life for an A/C unit is 12 - 15 years. It may require a slightly higher level of maintenance. Predicting the frequency or time frame for repairs on any mechanical device is virtually impossible. Recommend obtaining a home warrantee. Our inspection of the HVAC system is a visual examination of the systems major components. Utility companies and HVAC professionals recommend an annual inspection of HVAC equipment. You should request the service records of the systems, and if there was no service within the last twelve months by a qualified HVAC contractor, it is recommend that a complete system evaluation be made to ensure proper operation. We cannot determine if the HVAC system is properly sized for the house. This can only be determined by a qualified HVAC contractor.

2. Heating System

The Goodman electric furnace is approximately 6 years old.
The Ruud electric furnace is approximately 1 year old.
The heat pump(s) were tested in the cooling mode only.
We recommend consulting with the seller regarding the service history of the system(s). An annual/seasonal professional HVAC inspection and service contract is recommended.

3. Heat Pump Temperature Differential

3.1. The temperature drop measured between the supply and return registers of the heat pump system serving the second floor is lower than typical. Decreased heat output by a heat pump system is usually attributable to low coolant pressure or the failure of a mechanical component. Recommend a qualified heating and cooling technician for further evaluation/repair and to check for other repairs that may be needed at that time.



return air temperature on second floor



supply air temperature on second floor



return air temperature on first floor

supply air temperature on first floor

4. Filter Condition

The size of the filter(s) in the attic is 16x20x1.

The size of the filter(s) in the crawlspace is 18x18x1.

4.1. It is recommended that the furnace filter(s) be changed regularly. I suggest that you replace or clean the filters per the manufactures recommendations.

Electrical

This report describes the amperage of the service, the location of the main disconnect and any sub panel(s), the presence of solid conductor aluminum branch circuit wiring, the presence or absence of smoke detectors. Inspectors are required to inspect the viewable portions of the service drop from the utility to the house, the service entrance conductors, cables and raceways, the service equipment and main disconnects, the service grounding, the interior components of the service panels and sub panels, the conductors, the over-current protection devices (fuses or breakers), ground fault circuit interrupters and a representative number of installed lighting fixtures, switches and receptacles. All issues or concerns listed in this Electrical section should be construed as current and a potential personal safety or fire hazard. Repairs should be a priority, and should be made by a qualified, licensed electrician.

1. Electric Service Observation

The main conductor lines are underground. The electrical meter is located on the left side of the house.

The driven ground rod, solid conductor, and connection were located.

2. Service Panel Observation

The main shutoff(s) are on the left side of the house and the amperage rating of the service is 200 amps. Breakers are in the panel and it is located in in the laundry room.

Because the service entrance conductors were hidden behind service panel components the inspector was unable to view markings in order to determine the service panel conductor amperage rating. Confirmation of correct service entrance conductors sizing will require the services of a licensed electrical contractor.

The visible wiring observed was predominately copper non metallic sheathed cable for branch circuits.



main shutoff(s) for the electric



cover(s) removed for a thorough inspection

3. Distribution Wiring Observation

3.1. All junction boxes in the attic should be fitted with cover plates, in order to protect the wire connections. Recommend a qualified contractor add as needed and make any other repairs needed at that time.



missing junction box cover above garage

4. Condition of the Receptacles

4.1. As a whole the duplex receptacles appear serviceable at the time of the inspection.

5. Condition of the Lighting

5.1. The light(s) are inoperable in the exterior fans and master bathroom. If the bulbs are not blown, the circuit should be repaired by a licensed electrician and make any other repairs needed at that time.

6. Low Voltage Systems

6.1. Smoke detectors are recommended by the U.S. Product Safety Commission to be installed inside each bedroom and adjoining hallway and on each living level of the home and basement level. The construction of this house may predate the current requirements.

Plumbing

All the plumbing fixtures are tested. Supply valves are not tested as part of a standard home inspection. The water flow is tested for adequacy by running water in the bath sink and shower while the toilet is flushed. It is recommended that the sewer lines are sewer scoped to ascertain the condition of the sewer lines. If the sewer system consist of a Septic System - The septic tank should be pumped and inspected every 3 years by a qualified contractor. Recommend verifying with the current owners and having the septic tank pumped and inspected if not done in the last 3 years.

1. Water Supply Observations

The main water supply is Private Water Source - A private water source may include a well, cistern, or exposed pond or lake. None of these sources have approved quality standards by the State or County Health Departments. It is the homeowners responsibility to maintain continuous testing of the water source for potability. The inspection of the water supply does not include the well, well pumps and water storage related equipment.

The main water shutoff valve is located in the in the crawlspace. The main water service line to the house is cpvc pipe.

The interior supply piping in the structure is predominantly cpvc pipe.

The inspection of the pool and/or hot tub and equipment is beyond the scope of this inspection. Recommend further inspection by a qualified pool company.



main shutoff for the water

2. Sewage and Venting Observations

The sewer system consist of a Septic System - A private system is installed on the property. Septic tank and drainage fields are not covered under the scope of this inspection. Most localities require certification of the site waste disposal system. The septic tank should be inspected and cleaned every 3 to 5 years by a qualified contractor.

The predominant waste line and venting material is **PVC** pipe.

2.1. No clean out for the main drain was not found. Clean outs are useful when attempting to remove obstructions within the drainage piping. It may be prudent to have a clean out installed now, or verify its location with the existing owner.

3. Faucet and Supply Lines

3.1. The faucet in the second floor bathroom vanity leaks, or it is deteriorated to the degree that replacement is needed. Services of a qualified licensed plumber is recommended.



leak at faucet

4. Sink and Drain Line

4.1. The basin stopper is missing in the master bathroom. Some repair is needed for proper operation.

4.2. The sink drains slowly in the master bathroom. There may be some blockage either in the fixture or the drain line. Services of a drain cleaning service company may be needed.



basin stopper is missing



slow drain

5. Tub

5.1. There is a spa tub installed. The tub was filled with water and the jets activated to observe for proper action. The tub appeared to function properly, access to the motor was omitted due to the insulation.



whirlpool filled and tested

6. Shower Pan

6.1. The master bathroom bath tub/shower enclosure needs caulk or grout repair to help prevent water penetration to the underlying materials. We are unable to determine condition of underlying materials. Recommend a qualified contractor repair as needed and ensure that the shower pan does not leak.



caulk or grout repair needed

7. Water Heater Observations

There is a A.O. Smith 50 gallon electric water heater, and is approximately 2 years old.

7.1. The water heater is rust free and clean. Should provide years of service.

8. TPR Valve and Pipe Observations

8.1. The relief valve at the discharge piping serving the Temperature and Pressure Relief (TPR) Valve for the water heater should be installed at the lowest point in the piping. The relief valves serves to empty the discharge pipe in the event the TPR is opened, and prevents the TPR from rusting and malfunctioning. Recommend a licensed plumbing contractor install per the generally accepted building practice.



relief valve needed at (TPR) valve



example of a relief valve at (TPR) valve

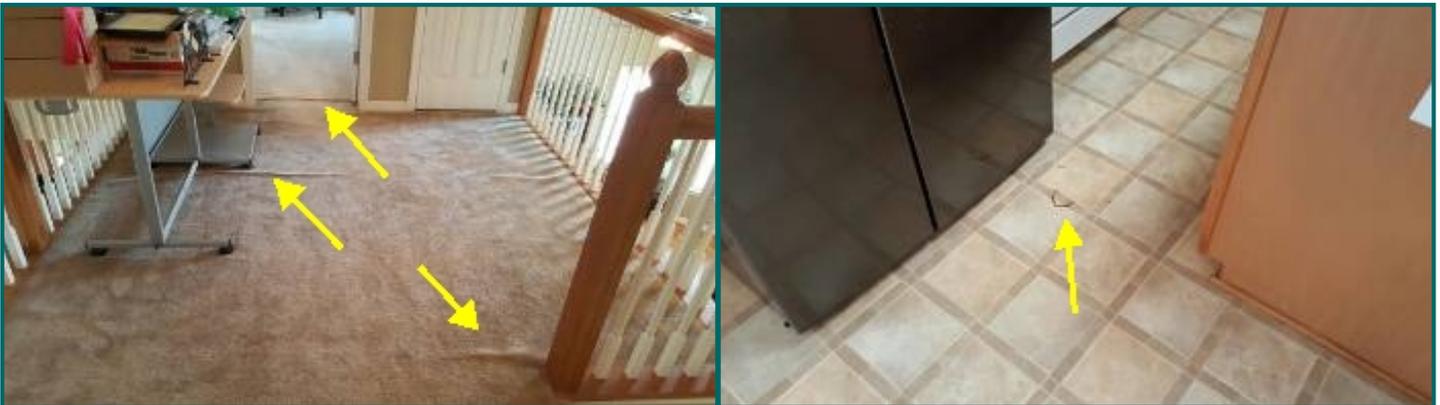
Interior

Cosmetic issues are not reported on and moving personal belongings is outside the scope of the inspection. If this structure was built in 1978 or before, this could indicate the potential for the presence of lead based paint and popcorn ceilings containing asbestos. The home inspection does not include the testing for lead based paint or asbestos. Any representative sample of the windows was evaluated on a best efforts basis to ascertain if the thermal seals have failed. Often, a failed seal cannot be determined during the assessment due to varying weather conditions or humidity. Therefore, no representations are made as to the condition of every window. No responsibility is assumed for items not observed during the assessment. Determination of the presence or absence of Chinese or other defective drywall materials and related conditions or risk is outside the scope of this assessment. See <http://www.cpsc.gov/en/safety-education/safety-education-centers/drywall/> for more information.

1. Floor Condition

1.1. The vinyl flooring is damaged in the kitchen. Recommend a qualified contractor repair or replace as needed.

1.2. Loose or wrinkled carpeting was noted in the second floor hallway. Recommend a qualified contractor that specializes in carpet repair to repair as needed to avoid a trip hazard.



wrinkled carpet noted

damaged vinyl floor noted

2. Overall Window Condition

2.1. Windows as a whole appear to be operational at the time of the inspection.

3. Overall Interior Door Condition

3.1. The interior doors as a whole appear to be in serviceable condition.

4. Cabinet Observations

4.1. The drawer(s) are in need of some minor repair by a qualified contractor. The drawer is in marginal condition.



damaged drawer

5. Stair and Railing Condition

5.1. The handrail is not continuous over the full length of the flight of stairs from top riser to bottom riser. For safety reasons, you should consider that the handrail be altered or replaced with one of the proper configuration by a qualified contractor.



handrail is not continuous at the top

Appliances

1. Washer & Dryer

A washer and dryer are installed. Testing of either is not included as a part of this inspection.

2. Washer Hookup

2.1. There is a connection box installed in the wall with both hot and cold water and a drain pipe. The drain pipe was not flood tested.

3. Dryer Hookup

3.1. Yes - There is a 220-volt outlet provided for an electric dryer.

4. Dryer Ventilation

4.1. It was verified that the dryer vents to the exterior.

5. Dishwasher Condition

5.1. The dishwasher was tested on one cycle, and it appeared to function normally. This dishwasher is a multi-cycle unit, but only one cycle was tested. This does not imply that the other cycles also work, nor does it imply that the dishwasher will clean the dishes to your requirements.

6. Range Hood

6.1. Satisfactory - The range hood and exhaust fan appeared to work correctly on one or both speeds. There is a filter installed, and it will require periodic cleaning.

7. Range/Oven Condition

7.1. All the heating elements on the range top and oven were functional at the time of the inspection. Temperatures of heat settings were not tested.

7.2. The gas or electric range has not been secured as required by manufacturer's installation instructions. A tip over safety hazard exists for small children. The gas or electric range should be properly secured with an anti tilt clip per the manufactures instructions.

8. Microwave Condition

8.1. Builtin - There is a builtin microwave oven. The unit was tested by heating a cup of water or a rag. The unit functioned as intended.

9. Refrigerator Condition

9.1. Yes - There is a refrigerator installed. The inspection does not include any non permanently installed appliances or fixtures.